



REGIONAL DISTRICT of Fraser-Fort George

INVITATION TO TENDER **CS-26-03** **RVRC Main Roof Resealing Project**

Date Issued

Thursday, July 16, 2026

Closing Location

Regional District of Fraser-Fort George
155 George Street, Prince George, BC V2L 1P8
purchasing@rdffg.bc.ca

Site Meeting

Friday, July 24, 2026, at 1:00 pm PT

Inquiries

Blaine Harasimiuk at bharasimiuk@rdffg.bc.ca
Inquiries deadline: Monday, July 27, 2026, at 4:00 pm PT

Closing Date

Friday, July 31, 2026, at 2:00 pm PT
No Public Opening

Late submissions are not considered



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Invitation to Tender- CS-26-03 RVRC Main Roof Resealing Project

PART A – INTRODUCTION

The Regional District of Fraser-Fort George (Regional District) invites tenders to undertake the resealing of the main standing seam metal roof located at the Robson Valley Recreation Centre, 461 Columbia Street, McBride, BC V0J 2E0. The roof resealing including removal of aged mastic, sealants and remove and patch over existing non-operational roof vents used over the years and installation of new materials as shown in the Aase Roof Inspection Ltd. report provided and in the attached photos.

The contract term is upon execution of the contract until project completion.

TENDER DOCUMENTS

The Invitation to Tender (ITT) documents may be obtained on or after **Thursday, July 16, 2026**.

- (a) in a PDF (Public Document Format) file format from the Regional District's website at www.rdffg.ca;
- (b) on the BCBid® website at www.bcbid.gov.bc.ca.

All subsequent information regarding this ITT, including amendments, Addendum(s) and answers to questions will also be available as above.

It is the sole responsibility of the tenderer to ascertain that they have received a full set of Tender Documents. Upon submission of their bid, the tenderer will be deemed conclusively to have been in possession of a full set of Tender Documents (listed in Part B, Section 2.1).

Tenders not submitted in strict accordance with these instructions or not complying with the requirements in this ITT may be rejected.

To be considered, Tenders must be signed by an authorized signatory of the Tenderer. By signing the Tender, the Tenderer is bound to statements made in response to this ITT. Any Tender received by the Regional District that is unsigned will be rejected.

The lowest of any Tender will not necessarily be accepted. The Regional District of Fraser-Fort George reserves the right to accept or reject any or all Tenders.

TENDER SUBMISSION AND CLOSING LOCATION AND TIME:

The Regional District will accept Tenders submitted either by direct delivery (hand delivery, courier or by post/mail) or electronically to the Closing Location and Time as outlined below.

Tenders will be received by the General Manager of Financial Services at the Regional District of Fraser-Fort George, 155 George Street, Prince George, BC (the "**Closing Location**") not later than 2:00 p.m. Pacific Time on **Friday, July 31, 2026** (the "**Closing Date**") or by email to purchasing@rdffg.bc.ca. There will not be a public opening for this Tender.

Tenders must be in English and must be submitted using the submission methods below.

Closing Date for tenders is Friday, July 31, 2026, at 2:00 p.m. Pacific Time.

For Tenders to be submitted by hard copy direct delivery:

One complete copy of your Tender must be submitted in a sealed envelope with the following information written on the outside of the envelope containing the tender, as well as on the outside of the courier envelope/box (if sending by courier):

Attention: General Manager of Financial Services
Regional District of Fraser-Fort George
155 George Street
Prince George, BC V2L 1P8

Invitation to Tender, CS-26-03
RVRC Main Roof Resealing Project

Responding Tenderer's name and address

Facsimile Tenders will NOT be accepted.

For Tenders to be Submitted Electronically:

"Pacific Time" will be conclusively deemed to be the time indicated in the electronic timestamp the Tender receives upon delivery to the email address specified herein.

Tenderers must submit all portions of their Tender by email in accordance with the following:

Subject of the file to be: CS-26-03– RVRC Main Roof Resealing Project – (Insert Responding Tenderer's Name)

All emailed documents must be in PDF format and should be in one combined file. Tenderers should ensure that the files should not collectively exceed 30MB. Zip the files to reduce the size if needed. Submitting the files via Drop Box, FTP, or similar programs, is not acceptable.

Tenders must be submitted to purchasing@rdffg.bc.ca. DO NOT deliver a physical copy of the tender package to the Regional District of Fraser Fort George if it has been or is being submitted electronically.

The Regional District does not assume any risk or responsibility or liability, including in contract or tort (including negligence), whatsoever to any Tenderer:

1. for ensuring that any electronic email system being operated by or for the Regional District is in good working order, able to receive transmissions, or not engaged in receiving other transmissions such that a Tenderer's electronic transmission, including the transmission of an electronic copy of its Tender, cannot be received;
2. for errors, problems or technical difficulties with respect to a Tenderer's electronic transmission, including the transmission of an electronic copy of its Tender;
3. that a Tenderer's electronic transmission, including the transmission of an electronic copy of its Tender, is received by the Regional District of Fraser-Fort George in its entirety or within any time limit specified by this Tender.

PART B – INSTRUCTIONS TO TENDERERS

CS-26-03– RVRC Main Roof Resealing Project

Instructions regarding obtaining the Tender Documents are contained in Part A: Introduction.

Questions relating to the tender or project must be directed to:

Blaine Harasimiuk, Manager of Inspection Services
Phone: 250-960-4400
Email: bharasimiuk@rdffg.bc.ca

Deadline for question submissions is 4:00 p.m. (Pacific Time) Monday, July 27, 2026.

Those questions that are determined to be of a common interest to all potential Tenderer's will be summarized and posted as Addendum(s) on the Regional District's website as well as the BCBid® website.

ACKNOWLEDGEMENT LETTER

Upon receipt of this Invitation to Tender, a potential Tenderer should complete and sign the Acknowledgement Letter at Appendix A, and email the signed Acknowledgement Letter to, Project Manager, Blaine Harasimiuk, at bharasimiuk@rdffg.bc.ca. A Tenderer who signs and returns the Acknowledgement Letter is not obligated to submit a Tender.

Any Tenderer who does not submit the Acknowledgement Letter will not be sent any Addendum(s), or answers to questions and may be disqualified.

SITE MEETING

All Tenderers should attend the site meeting. The Project Manager or delegate will provide an overview of the contract expectations and be available for questions pertaining to this ITT. The purpose of the site meeting is for Tenderers to satisfy themselves as to the nature of the work in general, to clarify their understanding of the scope of work, to view the sites, to determine specifications, and to have the opportunity to ask questions regarding the project and any other circumstances which may influence their Tender.

Oral questions will be allowed at the Tenderers' meeting. However, questions of a complex nature, or questions where the Tenderer requires anonymity, should be forwarded in writing, prior to the meeting, to the Project Manager.

The Regional District will not, under any circumstances, make accommodations for rescheduling, or holding any additional site meetings or providing individuals access to the sites.

The site visit will be held at Robson Valley Recreation Centre, 461 Columbia Street, McBride, BC V0J 2E0 on Friday July 24 at 1:00 p.m. Pacific Time.

TENDER PROCESS

1.0 Definitions

- 1.1 **"Addendum(s)"** means all additional information regarding this ITT including amendments to the ITT.
- 1.2 **"BC Bid"** means the BC Bid website located at www.bcbid.ca.
- 1.3 **"Board"** means the Board of the Regional District.
- 1.4 **"Closing Location"** means the location specified in Part A - Introduction.
- 1.5 **"Closing Time"** means the closing time and date specified in Part A - Introduction.
- 1.6 **"Contract"** means the contract substantially in the form attached to this ITT.
- 1.7 **"Contractor"** means the successful Tenderer to the ITT who enters into a Contract with the Regional District.
- 1.8 **"Equipment"** means anything and everything except persons used by the Contractor in performance of the work.
- 1.9 **"Facility Property"** means the property owned by the Regional District of Fraser-Fort George operating as the Robson Valley Recreation Centre.
- 1.10 **"Form of Tender"** means the form of tender attached to this ITT.
- 1.11 **"ITT"** means the solicitation described in this document, including any attached or referenced appendices, schedules or exhibits and as may be modified in writing from time to time by the Regional District by Addendum(s).
- 1.12 **"Must"** means a requirement that must be met in order for a Tender to receive consideration.
- 1.13 **"Prime Contractor"** means, in relation to a multiple-employer workplace, the directing contractor, employer, or other person who enters into a written agreement with the Regional District to be the prime contractor of a workplace for the purposes of Part 3 of the *Workers Compensation Act*, as amended, in addition to other terms in the written agreement.
- 1.14 **"Project Manager"** means the Regional District's representative.
- 1.15 **"Regional District"** means the Regional District of Fraser-Fort George.
- 1.16 **"Should", or "May"** means a requirement having a significant degree of importance to the objective of the ITT, but which the Regional District would strongly prefer to be fulfilled, and which the Regional District may in its sole discretion elect to treat the failure to fulfill as a ground for rejection of a Tender.
- 1.17 **"Subcontractor"** means any person, firm or corporation approved by the Regional District having a contract for the execution or a part of parts of the Work included in this Contract and worked to a special design according to the drawings or specifications but does not include one who merely furnished material not so worked.

1.18 **"Tender"** means a submission in response to this ITT.

1.19 **"Tender Documents"** means the documents listed in Section 2.1.

1.20 **"Tenderer"** means the person submitting a Tender.

1.21 **"Work"** means the total construction and related services required by the Tender documents.

2.0 Tender Documents

2.1 The Tender Documents are:

- (a) Part A – Introduction;
- (b) Part B – Instructions to Tenderers;
- (c) Contract Conditions; and
- (d) Appendices:
 - i. Appendix A – Acknowledgement Letter;
 - ii. Appendix B- Bidder Checklist;
 - iii. Appendix C – Tender Form;
 - iv. Appendix D – Schedule of Prices – Tendered Price;
 - v. Appendix E- List of Contractors Personnel;
 - vi. Appendix F – List of Subcontractors;
 - vii. Appendix G – Tenderer's Experience in Similar Work;
 - viii. Appendix H – Conflict of Interest and Disclosure Statement;
 - ix. Appendix I – Goods and Services Tax Information;
 - x. Appendix J – Sample Contract Agreement;
 - xi. Appendix K – Specifications;
 - xii. Appendix L- Supplemental Photos;
 - xiii. Appendix M- Mons Aase Roof Survey Report; and,
 - xiv. Appendix N- Sample Prime Contract Agreement

2.2 If there is a conflict between or among the Specifications and the other Tender Documents, the other Tender Documents shall prevail over the Specifications.

3.0 Acceptance of Terms and Conditions

Submitting a Tender indicates acceptance of all the terms and conditions set out in the ITT, including those that follow and that are included in all appendices and any Addendum(s).

4.0 Submission Instructions

- 4.1 Each Tenderer must complete and provide Appendix A and C through I, as applicable.
- 4.2 All prices and notations should be legibly written in a non-erasable pen. Erasures, interlineations, or other corrections should be initialed by an authorized signatory of the Tenderer.
- 4.3 Subject to any alternatives or options in respect of which the Regional District requests pricing or other information in an Appendix to the ITT, Tenders are to be all inclusive and without qualification or condition.
- 4.4 The Regional District may, at any time and for any reason, extend the Closing Time by means of a written amendment published on the Regional District's website, at www.rdffg.ca and at BC Bid.
- 4.5 Each Tender must be signed by an authorized signatory or authorized signatories of the Tenderer, as is necessary for due execution on behalf of the Tenderer. Each Tender by a company or partnership should specify the full name of the legal entity submitting the Tender.
- 4.6 It is the sole responsibility of the Tenderer to ascertain that they have received a full set of the Tender Documents. Upon submission of their Tender, the Tender will be deemed conclusively to have been in possession of a full set of the Tender Documents.
- 4.7 If the Regional District, in the Regional District's sole discretion, determines that a clarification, addition, deletion, or revision of the ITT is required then the Regional District will issue an addendum and the addendum will be posted on the Regional District website and BC Bid.
- 4.8 It is the sole responsibility of the Tenderer to check for Addendum(s). Addendum(s) issued during the time of Tendering must be signed by the Tenderer and included with the Tender and will become a part of the Tender documents.
- 4.9 The Regional District will not be responsible for any costs incurred by the respondent which may result from the preparation or submission of documents pertaining to this Tender. Accuracy and completeness of a Tender is the Tenderer's responsibility.

5.0 Discrepancies or Omissions

- 5.1 Tenderers finding discrepancies or omissions in the specifications or other documents herein or having doubts on the meaning or intent of any part thereof, should immediately request in written form, either by email or by mail, clarification from the Project Manager. Upon receipt of the written request for clarification, the Project Manager may, in their sole discretion, issue written instructions, explanations, or amendments to this ITT. No responsibility will be accepted for oral instructions.
- 5.2 It is the responsibility of each Tenderer to thoroughly examine the Tender Documents and satisfy itself to the full requirements of this ITT and their acceptability to the Tenderer.

6.0 Late Submissions

Tenders will be marked with their receipt time upon receipt. Only complete Tenders received before the Closing Time will be considered to have been received on time. Tenders received late will be marked late and not considered or evaluated. In case of a dispute, the Tender receipt time as recorded by the Regional District will prevail whether accurate or not.

7.0 Changes to Tenders

A Tenderer that has already submitted a Tender may amend its Tender prior to the Closing Time:

- (a) For changes to price only, by submitting an amendment via email or mail at the address identified at the beginning of Part B of this Invitation to Tender, identifying a plus or minus variance to the Tenderer's Tender Price; or
- (b) In all cases, by delivering a completely new Tender in accordance with Part A to this Invitation to Tender, clearly indicating it replaces the previously submitted Tender.

Any such revision must clearly identify the ITT number and the Closing Time. A Tender revision submitted as aforesaid shall effectively amend the Tender and the Regional District shall only review and evaluate the Tender as amended.

8.0 Bid Prices

- 8.1 The Tenderer will be deemed to have satisfied themselves as to the sufficiency of the Tender for the work and the price stated in the Schedule of Prices. These prices will cover all their obligations under the Contract, and all matters necessary to the proper completion and maintenance of the work, and will include the supply of all labour, equipment material, supervision, services, taxes and assessments, together with the Tenderer's overhead and profit, except where otherwise provided elsewhere in this ITT.
- 8.2 Tender prices must remain open for acceptance for a period of 90 days from the Closing Date unless otherwise stated by the Regional District.
- 8.3 The Regional District of Fraser-Fort George will not be responsible for any costs incurred by the tenderer which may result from the preparation or submission of documents pertaining to this Tender.

9.0 Prime Contractor

Where the Work involves a multiple-employer workplace, the Regional District may designate the Contractor as the Prime Contractor pursuant to the Workers Compensation Act and applicable WorkSafeBC regulations.

The Contractor, if designated as the Prime Contractor, will be required to enter into the Prime Contractor Agreement included as Appendix N.

The Contractor designated as the Prime Contractor will assume all responsibilities of the Prime Contractor under the Workers Compensation Act and applicable WorkSafeBC regulations and will ensure the coordination of all health and safety activities at the Worksite.

10.0 Subcontractors

All subcontractors, including affiliates of the Tenderer, should be clearly identified in the Tender as per the form attached as Appendix F.

A Tenderer may not subcontract to a firm or individual whose current or past corporate or other interests, may, in the Regional District's opinion, give rise to an actual, perceived or potential conflict of interest in connection with the services described in the Tender. This includes, but is not limited to, involvement by the firm or individual in the preparation of the Tender or a relationship with any employee, contractor or representative of the Regional District involved in preparation of the Tender, participating in evaluation or in the administration of the Contract. If a Tenderer is in doubt as to whether a proposed subcontractor might be in a conflict of interest, the Tenderer should consult with the Project Manager prior to submitting a Tender. By submitting a Tender, the Tenderer represents that it is not aware of any circumstances that would give rise to a conflict of interest that is actual, perceived or potential, in respect of the Tender.

11.0 Rejection of a Tender

11.1 The Regional District may, in its sole discretion, reject any and all Tenders, or accept the Tender deemed most favourable in the interests of the Regional District. The lowest, or any Tender, will not necessarily be awarded.

11.2 Tenders which contain qualifying conditions or otherwise fail to conform to the instructions contained in this ITT may be disqualified or rejected. The Regional District may, however, in its sole discretion, reject or retain for its consideration Tenders which are non-conforming because they do not contain the content or form required by the ITT, or for failure to comply with the process for submission set out in this ITT, whether or not such non-compliance is material.

11.3 The Regional District's intent is to enter into a Contract with the Tenderer who has submitted the best offer. The Regional District reserves the right to accept any or none of the Tenders submitted and will evaluate Tenders based on the best value offered to the Regional District and not necessarily the lowest price. The Regional District reserves the right in its sole unrestricted discretion to:

- (a) accept any Tender which the Regional District deems most advantageous to itself;
- (b) reject any and/or all irregularities in a Tender submitted;
- (c) waive any defect or deficiency in a Tender whether or not that defect or deficiency materially or substantially affects the Tender and accept that Tender;
- (d) reject any and/or all Tender for any reason, without discussion with the Tenderer(s);
- (e) accept a Tender which is not the lowest Tender; and
- (f) cancel or reissue the Tender without any changes.

11.4 Without limiting any other provision of this Tender, the Regional District may, in its sole discretion, reject a Tender submitted by a Tenderer, if the Tenderer or any officer or director of a corporate Tenderer, is, or has been within a period of two years prior to the Closing Time, engaged either directly or indirectly through another corporation or legal entity in a legal proceeding initiated in any court against the Regional District in relation to any contract with, or works or services provided to the Regional District.

12.0 Conflict of Interest

12.1 When submitting a Tender, the Tenderer must complete, sign and include with their Tender a

Conflict of Interest Disclosure Statement (Appendix H).

- 12.2 Without limiting any other provision of this ITT, the Regional District may reject a Tender based on an actual, potential or perceived conflict of interest.

The Regional District may reject any Tender where:

- a. one or more of the directors, officers, principals, partners, senior management employees, shareholders or owners of the Tenderer, is an officer, employee or director of the Regional District or a consultant involved in the procurement process, or is a member of the immediate family of an officer, employee or director of the Regional District or a consultant involved in the procurement process; or
 - b. in the case of a Tender submitted by a Tenderer who is an individual person, where that individual is an officer, employee or director of the Regional District or a consultant involved in the procurement process, or is a member of the immediate family of an officer, employee or director of the Regional District or a consultant involved in the procurement process.
- 12.3 A Tenderer who has any concerns regarding whether a current or prospective employee, advisor or member of that Tenderer is, or may be, a Restricted Party, is encouraged to request an advance decision by submitting to the Project Manager, not less than ten working days prior to the Closing Time, by email, the following information:
- (a) names and contact information of the Tenderer and the person for which the advance opinion is requested;
 - (b) a description of the relationship that raises the possibility or perception of a conflict of interest or unfair advantage; and
 - (c) copies of any relevant documentation.

The Regional District may make an advanced decision regarding whether the person is a Restricted Party, and whether the Regional District will reject a Tender based on the information provided.

13.0 Tender Evaluation

- 13.1 The purpose of this ITT is to select a Tenderer with the capability and experience to efficiently and cost effectively complete the work described in this ITT.
- 13.2 The Regional District shall be the sole judge of a Tender, and its decision shall be final. The Regional District shall use the following criteria to evaluate tenders received:
- a) proven, successful experience with similar projects;
 - b) acceptability of reference checks;
 - c) construction schedule; and
 - d) tender price
- 13.3 Price evaluation shall be based on the Tender Price submitted in the Schedule of Prices – Tendered Price (Appendix D). The Tender Price will be used for bid evaluation, and the Contract value will be the Tender Price as submitted in the Schedule of Prices (excluding any applicable taxes, unless otherwise specified).
- 13.4 The Tenderer acknowledges that the Regional District may rely upon criteria that the Regional District deems relevant even though such criteria may not have been disclosed to the Tenderer. By

submitting a Tender, the Tenderer acknowledges the Regional District's right under this clause and absolutely waives any right of action against the Regional District for the Regional District's failure to accept the Tenderer's Tender, whether or not such right of action arises in contract, negligence, bad faith or any other cause of action.

- 13.5 Notwithstanding any other provision in this ITT, the award of a Contract by the Regional District may be subject to the availability of funding and the approval of the Board.
- 13.6 Throughout the evaluation process, the Regional District, at its sole discretion, may request additional written clarification and/or supplemental information from selected tenderers as part of the evaluation process. Notwithstanding the results of the evaluation conducted by the committee, the Regional District reserves the right to select the tender that the Regional District considers provides best overall value.

14.0 Proof of Ability

The Tenderer will be competent and capable of performing the Work. The Tenderer is required to provide evidence of previous experience and financial responsibility before the contract is awarded.

15.0 Examination of Contract Documents and Site

- 15.1 The Tenderer will satisfy themselves as to the practicality of executing the work in accordance with the Contract, and they will be held to satisfy themselves in every particular before making up their Tender by inquiry, measurement, calculation and inspection of the site.
- 15.2 The Tenderer will examine the site and its surroundings and, before submitting their Tender will satisfy themselves as to the nature of the site, the quantities and nature of the work and equipment necessary for the completion of the work, and the means to access to the site, the accommodation they may require, and in general, will obtain all relevant information as to risks, contingencies and other circumstances which may influence their Tender.

16.0 Site Location and Facility Information

The Robson Valley Recreation Centre located at 461 Columbia Street in McBride, was constructed in 1983 to serve as a regional recreation hub for the Robson Valley community. The approximately 34,000-square-foot facility was designed to provide year-round recreational opportunities and includes an arena, curling rink, fitness areas, and multi-purpose recreation spaces.

The roof is original and has had repairs and resealing throughout the years. Mons Aase, RPO, completed an assessment of the roof in August 2024 and provided a condition report, attached as Appendix M – Mons Aase Roof Survey Report. **This ITT applies solely to the repair of the 34,080 sq. ft. Main Roof (Roof #1) identified in the Aase Roof Inspection Ltd. report.** Repairs to Roofs #2, #3, and #4 will be procured under a separate ITT.

17.0 Liability for Errors

- 17.1 The Regional District will not be responsible for any costs incurred by Tenderers as a result of the preparation or submission of a Tender pertaining to this ITT. The accuracy and completeness of the Tender is the Tenderer's responsibility. If errors are discovered, they will be corrected by the Tenderer at their expense.
- 17.2 Tenderers acknowledge that the Regional District, in the preparation of the ITT supply of oral or

written information to Tenderers, review of Tenders or the carrying out the Regional District's responsibilities under this ITT, does not owe a duty of care to Tenderers.

18.0 Limitation of Liability

Except for claims for costs of preparation of its Tender, each Tenderer, by submitting a Tender, irrevocably waives any claim, action, or proceeding against the Regional District including without limitation any judicial review or injunction application or against any of the Regional District's employees, advisors or representatives for damages, expenses or costs including costs of Tender preparation, loss of profits, loss of opportunity or any consequential loss for any reason including: any actual or alleged unfairness on the part of the Regional District at any stage of the Tender process; if the Regional District does not award or execute a contract; or, if the Regional District is subsequently determined to have accepted a noncompliant Tender or otherwise breached or fundamentally breached the terms of this ITT.

19.0 Ownership of Tenders and Freedom of Information

- 19.1 Tenders will be received and held in confidence by the Regional District, subject to the provisions of the Freedom of Information and Protection of Privacy Act and this ITT. Each Tender should clearly identify any information that is considered to be confidential or proprietary information.
- 19.2 As an exception to Tenders being received and held in confidence, Tenderers are advised and acknowledge that any contract entered into as a result of this Tender may be subject to Board approval, which may be discussed and voted on at a meeting of the Board that is open to the public. If Board approval is required, details of Tenders, including but not limited to proposed or negotiated fees, may be provided to the Board in a publicly available staff report, discussed at a Board meeting that is open to the public, and posted on a publicly available electronic agenda on the Regional District's website.

20.0 Confidentiality

In accordance with the *Freedom of Information and Protection of Privacy Act*, Tenderers will treat as confidential and will not, without prior written consent of the Regional District, publish, release, or disclose, or permit to be published, released, or disclosed, any information supplied to, obtained by, or which comes to the knowledge of a Tenderer as a result of this ITT except insofar as such publication, release or disclosure is required by the laws of British Columbia.

PART C – CONTRACT CONDITIONS

1. Contract

1.1 Form of Contract

A sample contract agreement is included as Appendix J.

1.2 Award of Contract

A contract for CS-26-03– RVRC Main Roof Resealing Project is anticipated to be awarded in August 2026. All tenderers will be advised, in writing, of the contract award following completion of the evaluation process.

The Regional District may, in its sole discretion, award a Contract CS-26-03– RVRC Main Roof Resealing Project, delay the Contract award or cancel this ITT at any time if deemed appropriate by the Regional District.

2. Start and Duration of Contract

The term of the Contract will begin upon execution of the contract, and the Contract will remain in force until project completion, which may occur on or before October 31, 2026, unless otherwise approved in writing by the Regional District.

A construction start date will be mutually agreed upon by the Regional District and the Contractor. Once construction works begin on-site, they will continue without interruption until project completion, **or such later date as may be agreed upon in writing by the Regional District and the Contractor.**

3. Term and Termination

The term of this Contract shall commence as set out in Section 2, Start and Duration of Contract, and shall continue in effect until terminated by either party as provided herein. Either party may terminate this Agreement at any time, with or without cause, by providing not less than 30 business days advance written notice to the other party. The Contractor or the Regional District may terminate this Agreement immediately in writing if either party becomes insolvent, enters bankruptcy, receivership, or other like proceeding (voluntary or involuntary) or makes an assignment for the benefit of creditors.

4. Intent of Contract Documents

This Contract is not an agreement of employment. The Contractor is an independent contractor, and nothing herein will be construed to create a partnership, joint venture, or agency and neither party will be responsible for the debts or obligations of the other.

5. Assignment of Contract

The Contractor will not sublet, sell, transfer, assign, or otherwise dispose of the Contract or any portions thereof, or their right, title or interest therein, or their obligations thereunder without written consent of the Regional District, except for an assignment to a bank of the payments to be received hereunder.

6. Payment

The Contractor may invoice the Regional District based on Work completed and accepted by the Regional

District. The invoice must itemize the Work completed, identify applicable taxes, and quote CS-26-03. Payment will be based on the Tender Price set out in the Schedule of Prices (Appendix D).

The Regional District will, by the thirtieth (30th) day of the month following receipt of an invoice and upon confirmation from the Project Manager that the Work has been satisfactorily carried out, pay the Contractor for Work completed in accordance with the Contract. No payment will be made for materials supplied by the Regional District.

7. Changes to the Contract Work

The Regional District, without invalidating the Contract, may make changes by altering, adding to, or deducting from the work. The Contractor will proceed with the work as changed and the work will be executed under the provisions of the Contract. No changes will be undertaken by the Contractor without written order of the Regional District, except in an emergency endangering life or property, and no claims for additional compensation will be valid unless the change was so ordered. The Regional District will entertain no payment for extra work or changes in the Contract unless a "Change Order" form is completed and signed by the Regional District and the Contractor.

If, in the opinion of the Regional District, such changes affect the Contract amount, these will be adjusted at the time of ordering the changes. The value of the addition or deduction from the Contract amount will be decided by the Regional District based on a lump sum estimate submitted by the Contractor and accepted by the Regional District.

The Contractor will adhere to a no-fault stoppage of work order when adverse weather conditions (precipitation) where continuation of works within the area would be detrimental to the overall completion of the project. This determination will be made jointly between the Regional District Project Manager and the Superintendent identified by the Contractor.

8. Insurance

The Contractor shall, without limiting its obligations or liabilities, and at its own expense, provide and maintain throughout the Contract term, the following insurance with insurers licenced in the Province of British Columbia, in forms acceptable to the Regional District. All required insurance (except automobile insurance on vehicles owned by the Contractor) shall be endorsed to show the Regional District as additional insured and to require that the Regional District be provided with 30 days' advance written notice of cancellation or material change. The Contractor will provide the Regional District with evidence of the required insurance, in a form acceptable to the Regional District, upon notification of award and prior to the execution and delivery of the Contract:

- i. Commercial General Liability (CGL) in an amount not less than \$5,000,000 inclusive per occurrence insuring against bodily injury and property damage and including liability assumed under the Contract. Such CGL coverage shall include the following liability extensions: Contingent Employers Liability, Broad Form Products & Completed Operations, Personal Injury, Blanket Contractual, and Cross Liability. The Regional District is to be added as an additional insured.
- ii. Where the Contractor requires the use of Automobiles to undertake the work of the Contract, the Contractor will have the following:
 - o Automobile Liability on all vehicles owned, operated, or licenced in the name of the Contractor in an amount not less than \$3,000,000 per occurrence.
 - o Non-owned Automobile Liability insurance in an amount not less than \$3,000,000 per occurrence.
- iii. Equipment insurance on all equipment owned or rented by the Contractor to its full insurable value.

The Contractor shall ensure that all subcontractors forming from this Contract meet the insurance requirements outlined above.

It is the sole responsibility of the Contractor to determine if additional limits of liability insurance coverage are required to protect them from risk.

9. WorkSafeBC

The Contractor will use due care and take all necessary precautions to assure the protection of persons or property at the Robson Valley Recreation Centre and will comply with the *Workers' Compensation Act* of the Province of British Columbia.

Prior to undertaking any of the work, the Contractor will provide its WorkSafeBC number and will keep current all assessments required by WorkSafeBC in relation to, and for, the duration of the work. The Contractor will provide a clearance letter from WorkSafeBC to the Regional District prior to commencement of the work.

Out of Province Contractors will be compliant with WorkSafeBC's registration requirements pertaining to out of Province firms. Where WorkSafeBC registration requirements allow for a Contractor to be registered with another Province's Workers' Compensation Board, or like organization, the Contractor will provide the Regional District with their registration number and written documentation confirming that the Contractor is in good standing with the appropriate Workers' Compensation Board, or like organization. The Contractor will pay and keep current all assessments required to maintain good standing in relation to the Contract amount.

The Contractor will maintain an Occupational Health and Safety Plan (OHSP) and ensure that their employees and Subcontractors are well trained and aware of OHSP.

10. Damage to Existing Property

In the event of damage to the Regional District's property arising from actions of the Contractor, the procedure will be as follows:

1. The Contractor will immediately advise the Regional District of any damage to the Regional District's property.
2. Upon investigation, the Regional District will notify the Contractor of damages to be repaired.
3. If the Contractor does not reply within 72 hours, the Regional District will repair to the appropriate specifications or regulations, and deduct the cost of the repair from payment to the Contractor.

11. Indemnity and Release by Contractor

Notwithstanding the compliance of the Contractor with all the clauses concerning insurance, the Contractor shall indemnify, protect, and save harmless the Regional District, its officials, officers, employees, volunteers, servants, and agents from and against any and all liabilities, damages, losses, claims, costs, expenses of any kind whatsoever (including legal costs), and actions recoverable by any third party from the Regional District, arising from or caused by a negligent act or omission of, or breach of this Agreement on the part of, the Contractor, and shall be paid by the Contractor. If the Regional District pays, or is required to pay, any damages, costs, or fees on account of the actions, claims and demands herein recited, or if the property of the Regional District shall be charged in any way as a result of the aforesaid actions, causes of actions, and claims for demands, then the Regional District shall be entitled to recover from the Contractor all such damages, costs, fees or other charges together with any costs or expenses

incurred in so doing. The Contractor covenants and agrees that this clause shall survive the termination of the Contract herein granted.

12. Force Majeure

If either the Contractor or the Regional District are prevented from performing their obligations under the Contract, or where the Regional District's work in respect of which the Contractor is providing Services, cannot be performed because of: an act of God; an act of a legislative, administrative or judicial entity; fire; flood; labour strike or lock-out; epidemic; pandemic; unusually severe weather; or other similar cause outside of the control of the Parties (collectively "Force Majeure"), then the obligations of the Contractor and the Regional District under the Contract shall be suspended for so long as the condition constituting Force Majeure continues. The Party affected by Force Majeure shall provide the other Party with notice of the anticipated duration of the Force Majeure event, any actions being taken by the Party providing notice to avoid or minimize the effect of the Force Majeure event and shall make reasonable efforts to remove or mitigate the effects of the condition constituting Force Majeure. Upon the termination of the Force Majeure event, the Regional District shall grant to the Contractor a time extension for performance of the agreed upon dates for service required as part of the Services as may be agreed with the Contractor or, if the Regional District and the Contractor are unable to reach agreement, as determined by the dispute resolution process under Part C, Section 21. "Dispute Resolution". Whereas a result of Force Majeure there is a material increase in the Contractor's cost of or the time required for the performance of the Services that is not offset by a decrease in cost, then the Regional District shall increase the amount of the service fee payable to the Contractor under Part C, Section 6. "Payment" of this ITT, as may be agreed by the Contractor, or as determined under Part C, Section 21. "Dispute Resolution" of the Sample Contract. If the event of Force Majeure results in a material increase in the cost of the work to be performed in respect of which the Contractor is providing the Services, then the Regional District may choose not to proceed with the completion of the work and may terminate this Contract. If the Regional District terminates this Contract following the termination of the Force Majeure event, then it shall compensate the Contractor in accordance with Part C, Section 22.1, "Notice of Default".

13. Rights of Waiver

A waiver, or any breach of any provision of this ITT, will not constitute or operate as a waiver, or any other breach, of any other provisions, nor will any failure to enforce any provision herein operate as a waiver of such provisions or of any other provisions.

14. Severability

All paragraphs of the Contract are severable one from the other. Should a court of competent jurisdiction find that any one or more paragraphs herein are void or unenforceable, the validity of the remaining paragraphs hereof will not be affected.

15. Supervision and Labour

The Contractor will keep a competent supervisor on the work at all times during its progress. The Contractor will identify the person who will act as the supervisor, in writing, to the Regional District. The supervisor will represent the Contractor in their absence and directions given to them will be considered to have been given to the Contractor. The supervisor will have the ability to report to the Regional District and have the authority to act on contractual obligations on behalf of the Contractor. The Contractor shall employ at all times, qualified and experienced personnel to carry out the work.

16. Character of Workers

The Contractor and workers must have sufficient knowledge, skill, and experience to perform properly

the work assigned to them and to be tactful and courteous in dealing with the public and the Regional District's staff. Any supervisor or worker employed by the Contractor or Sub-Contractor who, in the opinion of the Owner, does not perform their work in a competent manner, appears to act in a disorderly or intemperate manner, appears to be under the influence of drugs or alcohol, or is negligent, or willfully misconducts themselves will, at the written request of the Owner, be removed from the site of the work immediately and will not be employed again in any portion of the work without the approval of the General Manager of Community and Development Services.

17. Assignment and Subcontracting

This Agreement does not create any right or benefit in anyone other than the Regional District and the Contractor and shall not be assigned by either party without the prior written approval of the other party.

18. Regional District's Termination of Contract

In the event of the breach or non-performance by the Contractor of any of the covenants, conditions, and agreements contained in the Contract to be performed, the Regional District reserves the right to terminate this Contract without notice. The Regional District may also deduct from the payments due to the Contractor any payments or expenditures it is required to make to remedy any such non-performance or breach hereof.

19. Contractor's Termination of Contract

The Contractor shall have the right to terminate the Contract in the event the Regional District fails to pay for the Work performed except as provided in the Contract Documents within 30 days from the specified date of payment and fails to remedy such default within 10 days of the Contractor's written notice to do so.

20. Regional District's Right to Correct Deficiencies

The Regional District shall have and retain full authority to inspect the work of the Contractor to ensure that the requirements of the Contract are being fulfilled. Upon failure of the Contractor to perform the work in accordance with the Contract Documents, and after five days written notice to the Contractor, or without notice if any emergency or danger to the work or public exists, the Regional District may, without prejudice to any other remedy they may have, correct such deficiencies. The cost of Work performed by the Regional District in correcting deficiencies shall be paid by the Contractor or may be deducted from monies payable to the Contractor.

21. Dispute Resolution

If a claim, dispute, or controversy arises out of or relates to the interpretation, application, enforcement, or performance of services under this agreement, the Contractor and the Regional District agree first to try in good faith to settle the dispute by negotiations between the Contractor and the Regional District. If such negotiations are unsuccessful, the Contractor and the Regional District agree to attempt to settle the dispute by arbitration if both parties agree. If the dispute cannot be settled through arbitration, the Contractor and the Regional District may agree to attempt to settle the dispute through good faith mediation. If the dispute cannot be resolved through mediation and unless otherwise mutually agreed, the dispute shall be settled by litigation in an appropriate court in the Province of British Columbia.

22. Notice of Default

If the Contractor is in default of the performance of any of its material obligations set out in this Agreement,

then the Regional District may, by written notice to the Contractor, require such default to be corrected. If within 15 days' receipt of such notice the default has not been corrected or reasonable steps, as determined by the Regional District in its sole discretion, have not been taken to correct the default, the Regional District without limiting any other right it may have, may immediately terminate this Agreement.

22.1 The Regional District shall compensate the Contractor for all Services performed hereunder through the date of any termination and all-reasonable costs and expenses incurred by the Contractor in effecting the termination. All drawings, plans or other documents resulting from the Services, whether complete or in a draft form, produced by the Contractor prior to the termination of the Agreement, will be provided to the Regional District within ten business days of the termination date.

23. Governing Laws

This Contract shall be governed and construed in accordance with the laws of the Province of British Columbia.

24. Permit and Regulations

The Contractor will, at their own expense unless pre-approved in writing by the Regional District, procure all other permits, certificates, and licenses required by law for the execution of the work and will comply with all federal, provincial, and local laws and regulations affecting the execution of the work, save in so far as the Contract Documents specifically provide otherwise.

25. Scope of Work

The successful supplier will be responsible for providing all necessary labour, transportation, equipment, materials, supervision and services necessary to complete the work described, including, but not limited to, disposal and replacement of the existing sealant and resealing the standing seam metal roof, gutters, projections, vents, p-vent flashings, gable end flashing and ridge flashing and all other items listed in the attached report completed by Aase Roof Inspection Ltd.

This ITT applies solely to the repair of the 34,080 sq. ft. Main Roof (Roof #1) identified in the Aase Roof Inspection Ltd. report. Repairs to Roofs #2, #3, and #4 will be procured under a separate ITT.

All work to meet applicable building codes, manufacturer specifications and installation instructions.

26. Local Conditions

The Tenderer will, by personal inspection, examination, calculations or tests, or by any other means, satisfy themselves with respect to the local conditions to be encountered and the quantities, quality and practicability of the Work and of their methods of procedure. No verbal agreements or conversation with any officer, agent or employee of the Regional District, either before or after the execution of the Contract, will affect or modify any of the terms or obligations herein contained.

27. Project Manager's Status

The Project Manager or their delegate will be the Regional District's representative during the period of operation and will observe the Work in progress on behalf of the Regional District for the purpose of ensuring that the Work has been satisfactorily carried out. The Project Manager will have the authority to stop the Work whenever such a stoppage may be necessary, in their opinion, to ensure the proper execution of the Work in accordance with the provisions of the Contract.

If at any time the Project Manager is of the opinion that there exists a danger to life or to property, they may

order the Contractor to stop Work or to take such remedial measures as is considered necessary.

The Contractor will comply with such an order immediately. Neither the giving nor the carrying out of such orders thereby entitles the Contractor to any extra payment, and the Regional District will not be held liable for any damages or any breach of laws, bylaws or regulations that may result.

28. Protection of Work and Property

The Contractor shall take all reasonable precautions necessary to protect the Regional District's property from damage during the performance of the Contract and shall make good on any damage to the Regional District's property caused by the Contractor, its Sub-Contractor, employees, or agents during the performance of the Contract.

29. Occupational Health and Safety

The Contractor will ensure that they follow all occupational health and safety policies and procedures established by the Regional District. Contractors, their employees, or agents not complying with the Regional District's health and safety expectations will be required to stop Work. They will not be allowed to resume Work until the safety requirements are met.

The Contractor will use due care and take all necessary precautions to ensure the protection of persons and property at the Facility and will comply with the Workers' Compensation Act of the Province of British Columbia.

30. Goods and Services Tax (GST)

Federal law states that a 5% tax be paid on all goods and services. If the Contractor does not qualify as a small supplier, then the Contractor is required to identify the tax (GST/PST, as applicable) on all invoices, and the Regional District is liable to pay this amount to the Contractor.

31. Disputed Work

If, in the opinion of the Contractor, they are being required to perform work beyond that which the Contract requires them to do, whether at the discretion of the Regional District or otherwise, they will, within five days, deliver to the Project Manager a written notice of protest in the form prescribed herein prior to proceeding with any of the disputed work. The five-day time period commences from the time of direction given by the Manager or the time at which the Contractor determines that they are required to perform such work, whichever occurs first.

The Contractor will keep accurate and detailed cost records that should indicate the cost of the work done under protest. The Contractor will not be entitled to payment if they fail to keep and produce such records.

32. Notice of Protest

TO: General Manager of Community and Development Services
Regional District of Fraser-Fort George
FROM: (Contractor)
DATE:
SUBJECT: THE CONTRACT

Date of Direction:

You have required me to perform the following work that is beyond the scope of the Contract.
(Set out details of work).
(Include dates where applicable)

The additional costs and claim for this work is as follows:
(Set out details of cost)

All supporting documentation and invoices are attached.

I understand that I am required to keep accurate and detailed cost records, which will indicate the cost of the work done under protest, and failure to keep such records will be a bar to any recovery by me.

Signature of Contractor

APPENDIX A - ACKNOWLEDGEMENT LETTER

The undersigned has received the full set of Tender Documents.

Signature

Company

Name (please print)

Address

Title

City

Phone Number

Fax Number

Date

Email Address

We presently intend to _____ provide/ _____ not provide a Tender as requested.

Please send any amendments to this Invitation to Tender via: _____ email _____ fax.

Return immediately to:

Community and Development Services
bharasimiuk@rdffg.bc.ca
Regional District of Fraser-Fort George

APPENDIX B - BIDDER CHECKLIST

Before submitting your tender bid, check the following points:

- | | | |
|--------------------------|---|-------|
| ☐ | Have you submitted the Acknowledgement Letter? | _____ |
| ☐ | Has the Tender Form been signed and witnessed? | _____ |
| ☐ | Has the Tender Form Summary & Schedule of Prices been completed? | _____ |
| ☐ | Has the List of Contractor's Personnel been completed? | _____ |
| ☐ | Has the List of Sub-Contractors been completed? | _____ |
| ☐ | Has the Tenderer's Experience in Similar Work been completed? | _____ |
| ☐ | Has the Goods and Services Tax Information been completed? | _____ |
| ☐ | Has the Conflict of Interest Disclosure Statement been completed? | _____ |
| ☐ | Are all amendments and/or addenda, if any, included and signed? | _____ |

Note: Your Tender may be disqualified if ANY of the applicable foregoing points have not been complied with.

If submitting by hard copy:

Tenderers should ensure that the Tender is returned in a sealed envelope clearly marked on the outside with:

- ☐ Attention: General Manager of Financial Services
Regional District of Fraser-Fort George
155 George Street
Prince George, BC
V2L 1P8
- ☐ INVITATION TO TENDER CS-26-03- RVRC Main Roof Resealing Project
- ☐ Responding Organization's name and address.

If submitting by email:

Ensure that the files do not exceed 30MB. Tenders Must be submitted to purchasing@rdffg.bc.ca.

DO NOT deliver a physical copy of the Tender package to the Regional District of Fraser Fort George if it has been or is being submitted electronically.

Subject of the file to be:

CS-26-03 RVRC Main Roof Resealing Project- (Insert Responding Tenderer's Name)

APPENDIX C - TENDER FORM

Date: _____

Regional District of Fraser-Fort George
155 George Street
Prince George, BC V2L 1P8

ATTENTION: General Manager of Financial Services

Dear Sir/Madam:

Having carefully examined the Instructions to Tenderers, Form of Tender, Contract Agreement, General Conditions of Contract and Operational Specifications and subsequent written Addendum(s) (if any), and having visited the site(s) for purposes of examining site conditions and having satisfied myself/ourselves as to the sufficiency of the ITT, the undersigned agrees to furnish all labour, transportation, equipment, materials, supervision and services and to do all work necessary for and reasonably incidental, as specified in accordance with the ITT, to do the work.

I/We agree that in consideration of having my/our tender submission considered for the Total Contract Price as shown on the Schedule of Prices, this price is open for acceptance for 90 days from the closing date and will not be withdrawn during that period of time.

It is understood that payment will be made for the work on the basis of the awarded Contract only and that any approved extras or refunds will be made by mutual agreement between the Regional District and me/us.

I/We agree that the Subcontractor(s) employed will be as listed on the List of Subcontractors and further agree that no changes or additions will be made to the list without written approval of the Regional District.

If I am/we are notified in writing of the acceptance of our tender, I/we agree that within 14 days of the date of the acceptance notice I/we will enter into a contract and execute an agreement for the stated sum in the form of the specimen submitted to guarantee completion of the contract in accordance with the contract documents and within the time stated in the Tender documents.

I/We agree that the Regional District reserves the right to waive informalities in tenders, reject any or all tenders, or accept the tender deemed most favourable in the interests of the Regional District.

I/We agree that tenders which contain qualifying conditions or otherwise fail to conform to the instructions contained in this ITT may be disqualified or rejected. I/We agree that the Regional District may, however, in its sole discretion, reject or retain for its consideration tenders which are non-conforming because they do not contain the content or form required by the ITT, or for failure to comply with the process for submission set out in the ITT, whether or not such non-compliance is material.

I/We agree that except for a claim for the reasonable cost of preparation of this tender, by submitting a tender, I/We irrevocably waive any claim, action, or proceeding against the Regional District including, without limitation, any judicial review or injunction application, and any claim against the Regional District and its elected officials, officers and employees for damages, expenses or costs, loss of profits, loss of opportunity or any consequential loss for any reason, including any such claim, action or proceeding arising from:

- 1) any actual or alleged unfairness on the part of the Regional District at any stage of the tender process, including without limitation any alleged unfairness in the evaluation of a tender or award of a contract;
- 2) a decision by the Regional District not to award a contract to that tenderer; or
- 3) the Regional District's award of a contract to a tenderer whose tender does not conform to the requirements of this ITT.

I/We hereby acknowledge receipt and inclusion of the following Addendum(s) to the ITT Documents:

Addendum No. _____ dated: _____

Addendum No. _____ dated: _____

Addendum No. _____ dated: _____

Addendum No. _____ dated: _____

Addendum No. _____ dated: _____

Addendum No. _____ dated: _____

Signed and Delivered by:

Signature of Authorized Signatory

Name of Tenderer

Name of Authorized Signatory (Please print)

Address

Title

City, Province, Postal Code

Signed in the presence of:

Signature

Address

Name of Witness (Please print)

City, Province, Postal Code

APPENDIX D - SCHEDULE OF PRICES – TENDERED PRICE

Tender Price

Lump sum tendered price for ITT - CS-26-03
RVRC Main Roof Resealing Project
(excluding GST)

\$ _____

GST

\$ _____

TOTAL Contract Value (including GST)

\$ _____

Proposed Start Date and Date of Completion

APPENDIX E – LIST OF CONTRACTOR’S PERSONNEL

The Contractor agrees that the personnel employed by them will be as listed below and further agrees that any changes or additions made to this list will be made in writing to the Regional District.

Name of Employee	Employee’s Experience / Qualifications

Name of Onsite Supervisor	Supervisor’s Experience / Qualifications

APPENDIX F - LIST OF SUBCONTRACTORS

The Contractor agrees that the Subcontractors engaged by it will be as listed below and further agrees that any changes or additions made to this list will be made in writing to the Regional District. In the Contractor's opinion, the Subcontractors named are reliable and competent to perform that part of the work for which each is listed.

<u>Sub-Contractor's Legal Name</u>	<u>Address of Subcontractor</u>	<u>Work to be Performed by Subcon- tractor</u>

APPENDIX G - TENDERER'S EXPERIENCE IN SIMILAR WORK

<u>Year</u>	<u>Work Performed</u>	<u>Reference Contact</u> <u>(name and phone number)</u>	<u>Value</u>

APPENDIX H - CONFLICT OF INTEREST AND DISCLOSURE STATEMENT

CS-26-03-RVRC Main Roof Resealing Project

Bidder Name: _____

The Bidder, including its officers, employees, and any person or other entity working on behalf of or in conjunction with, the Bidder on this Procurement Process:

- ☐ is free of any conflict of interest that could be perceived to improperly influence the outcome of this procurement process.
- ☐ has not, and will not, participate in any improper procurement practices that can provide the Bidder with an unfair competitive advantage including obtaining and using insider type information to prepare a solicitation offer or participating in bid rigging.
- ☐ has an actual, perceived or potential conflict of interest regarding this procurement process as a result of:

State reason(s) for Conflict of Interest:

By signing below, I certify that all statements made on this form are true and correct to the best of my knowledge.

Print Name of Person Signing Disclosure

Authorized Representative of

Signature of Person Making Disclosure

Date Signed

APPENDIX I - GOODS AND SERVICES TAX INFORMATION

Supplier:

Name

Address

City

Province

Postal Code

Phone Number

Email Address

Are you a GST Registrant?

Yes _____

No _____

If YES, please indicate your registration number: _____

If NO, please fill in the following (check appropriate box):

☐ Supplier qualifies as a small supplier under s. 148 of the legislation

☐ Other: Specify _____

WorkSafeBC Registration Number

Signature of Authorized Person

Print Name

Title

Date

APPENDIX J – SAMPLE CONTRACT AGREEMENT

BETWEEN:

REGIONAL DISTRICT OF FRASER-FORT GEORGE, a local government incorporated pursuant to the *Local Government Act* and having its business office located at:
155 George Street
Prince George, BC V2L 1P8

(hereinafter called "the Regional District")
OF THE FIRST PART

AND:

CONTRACTOR
a company duly incorporated under the laws of British Columbia and having a place of business at:
address
address, pc

(hereinafter called the "Contractor")
OF THE SECOND PART

WITNESSETH that the Contractor and the Regional District undertake and agree as follows:

1. The Contractor will:
 - (a) Provide all necessary labour, equipment, transportation, materials, supervision, and services to perform all the work, and fulfill everything as set forth in, and in strict accordance with, the Contract documents for "Invitation to Tender CS-26-03 RVRC Main Roof Resealing Project"
 - (b) Commence to actively proceed with the Work on a date mutually agreed upon by the Regional District and the Contractor.
2. The Regional District will pay to the Contractor as full compensation for the performance and fulfilment of this Contract, the sum or sums of money specified herein in the manner and at the times specified in the Contract Documents.
3. The Invitation and Instructions to tenderers, Tender Form, List of Subcontractors, Tender's Experience in Similar Work, Schedule of Prices, all appendices, amendments and Addendum(s), as well as the tenderer's submission, are incorporated herein, to the intent and purpose as though recited in full herein, and the whole will form the Contract and will endure to the benefit of, and be binding upon, the parties hereto and their successors, executors, administrators, and assigns.
4. No implied contract of any kind whatsoever, by or on behalf of the Regional District, will arise or be implied from anything contained in this Contract or from any position or situation of the parties at any time, it being understood and agreed that the express contracts, covenants and agreements made herein by the parties hereto are, and will be, the only contract, covenants and agreements on which any rights against the Regional District may be founded.
5. Subject to Clause 4, this Contract will supersede all communications, negotiations, and agreements, either written or verbal, made between the parties hereto in respect of matters pertaining to this Contract prior to the execution and delivery hereof.

6. All communications in writing between the parties will be deemed to have been received by the addressee if delivered to the individual, or to a member of a firm, or to the General Manager of the Regional District for whom they are intended, or if sent by hand delivery, mail or registered mail as follows:

The contractor at _____
address

The Regional District at 155 George Street, Prince George, BC V2L 1P8.
IN WITNESS WHEREOF the parties have duly executed this Contract.

SIGNED ON BEHALF OF THE
REGIONAL DISTRICT OF FRASER-FORT GEORGE

Regional District Representative

Date

Regional District Representative

Date

SIGNED ON BEHALF OF
CONTRACTOR

DO NOT SIGN SAMPLE ONLY

Signature

Date

(Name and Title) (Please print)

APPENDIX K - SPECIFICATIONS

Provide all labour, materials, equipment, supervision, safety measures, and disposal services necessary to complete the resealing of the main 34,080 sq.ft. standing seam metal roof at the Robson Valley Recreation Centre. This may include but is not limited to:

- Act as Prime Contractor for the Work and comply with all applicable WorkSafeBC Requirements.
- Clean and prepare all designated repair areas by removing existing roofing mastic, tar, deteriorated sealants, debris, and contaminants.
- Inspect and reseal gutter end joints, drain locations, sheet metal end laps, and identified leak-prone areas.
- Reseal roof projections, vents, p-vent flashings, ridge flashings, and other roof penetrations requiring maintenance.
- Remove, repair and reseal 8 plastic residential roof vents covered in sealant.
- Mechanically prepare metal surfaces and apply an approved metal roof primer to all areas receiving new sealant systems.
- Remove existing fasteners where required and replace with new oversized corrosion-resistant roofing screws.
- Install polyester mesh tape or approved equivalent over designated seams, laps, joints, and repair locations.
- Apply Soprema Alsan Liquid Membrane or approved equivalent over repaired seams, fasteners, end laps, and flashing transitions to provide a watertight seal.
- Reseal gutter drains and associated metal joints utilizing compatible new sealant systems and reinforcement materials where required.
- Complete all work in accordance with manufacturer specifications, industry best practices, and applicable safety regulations.
- Remove all waste materials from site and leave the work area clean upon completion.
- Warranty of both workmanship and accepted materials for the term of 10 years.

All materials used shall be compatible with the existing standing seam metal roofing system and designed to provide a durable, long-term watertight repair. Work should be coordinated to minimize disruption to facility operations. Warranty information for workmanship and materials will be provided upon project completion.

Aase Roof Inspection Ltd.

This ITT applies solely to the repair of the 34,080 sq. ft. Main Roof (Roof #1) identified in the Aase Roof Inspection Ltd. report. Repairs to Roofs #2, #3, and #4 will be procured under a separate competitive bids.

Full Aase Roof Inspection report in Appendix M



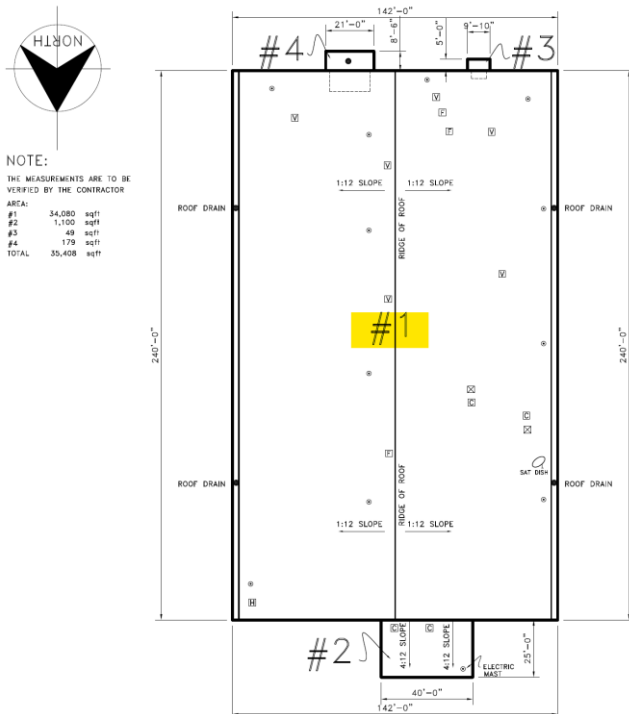
AASE ROOF INSPECTION LTD.
9750 Alpine Drive
Prince George, BC V2N5W7

Repair List for Roofing Company :

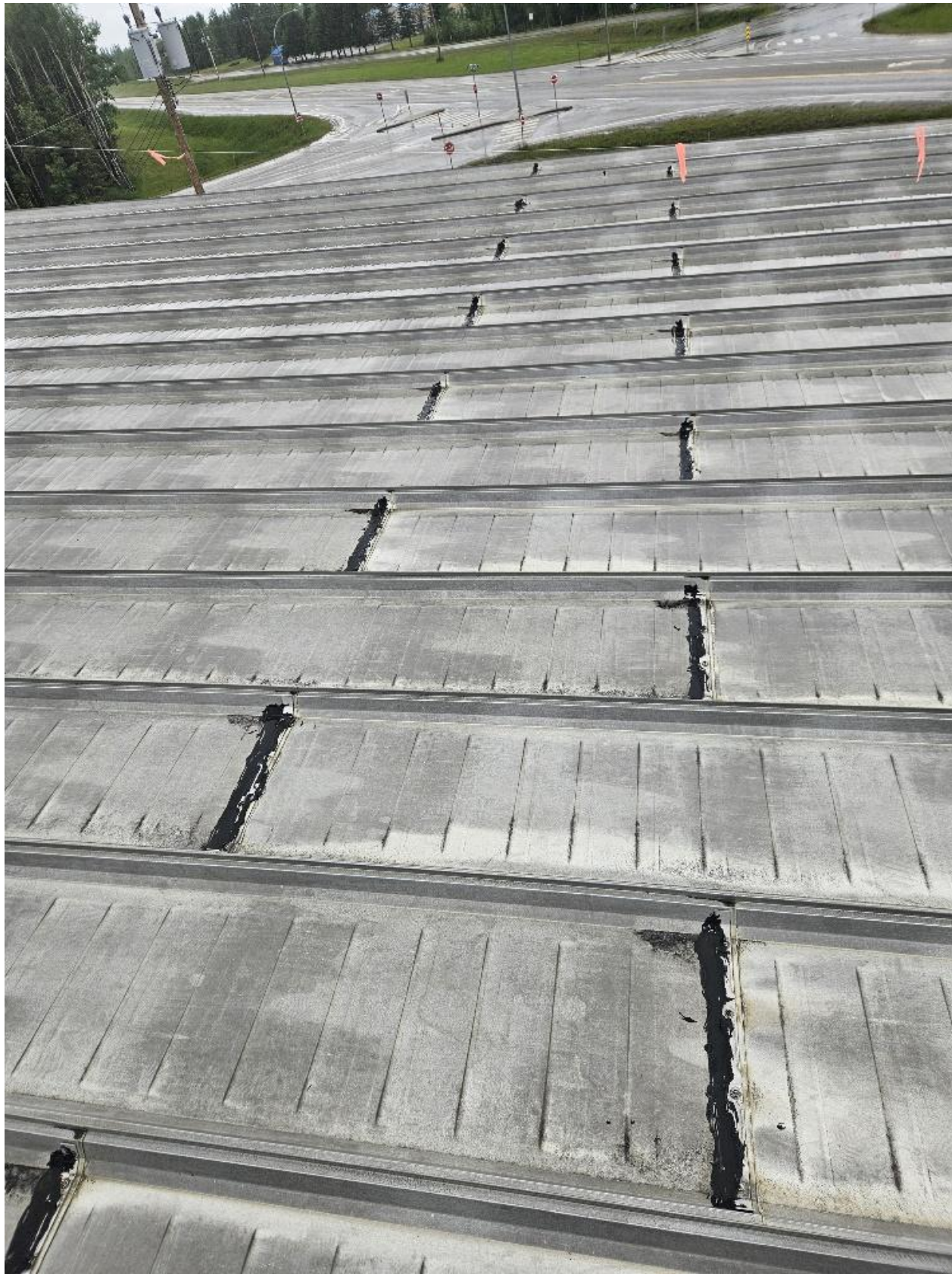
On the main Pre-Eng Roof #1 we suggest that;

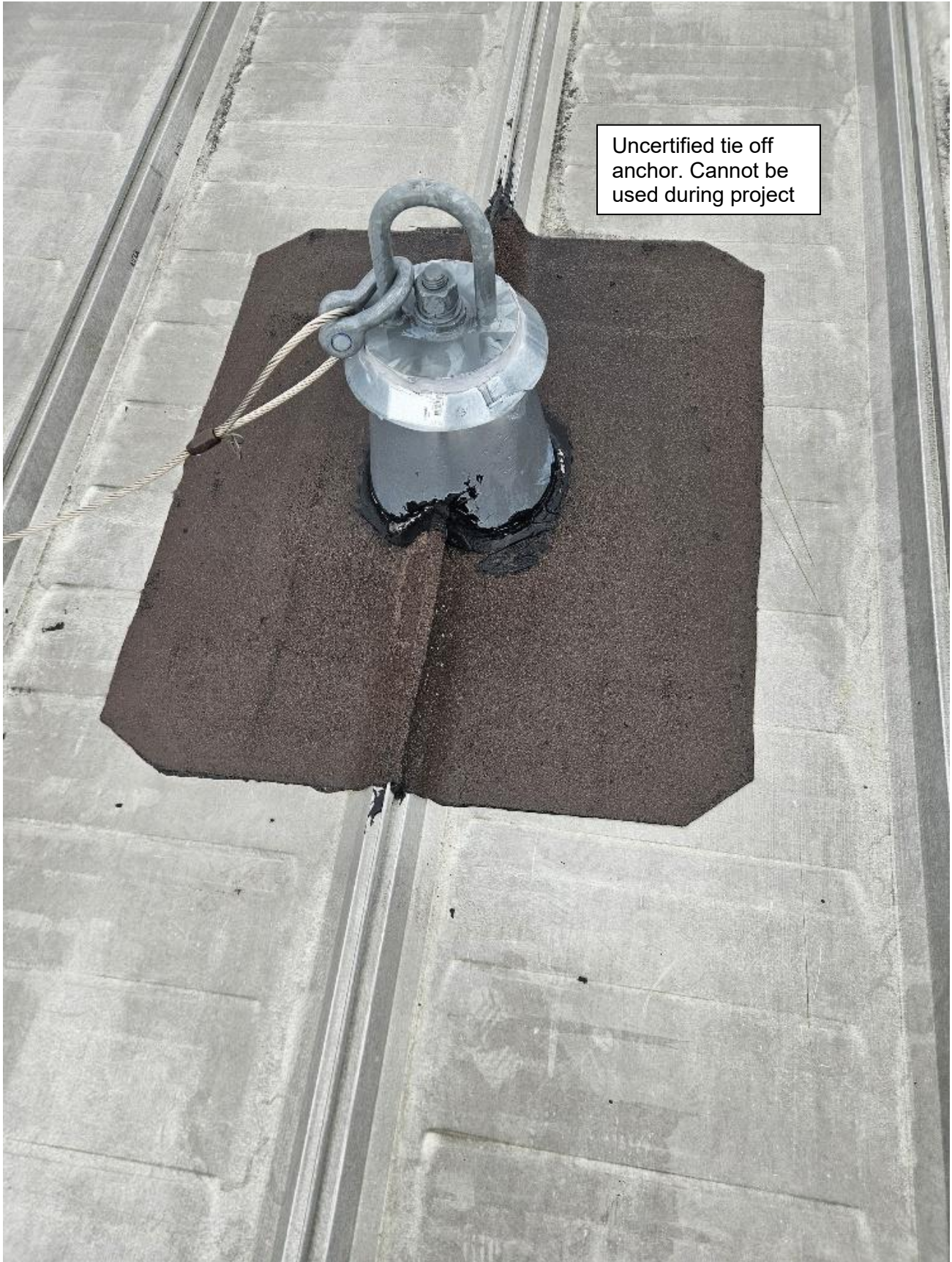
1. Metal end joints and drains in the gutters be resealed prior to winter.
IKO MS Detail Liquid membrane and polyester mesh
2. Projections , vents and p-vent flashings as well. Soprema Alsan Liquid membrane and polyester mesh. Or RC 2200
3. Gable end flashings need to be resealed on the end laps as well
Soprema Alsan Liquid membrane and polyester mesh. Or RC 2200
4. Ridge flashing also needs to be resealed.
Soprema Alsan Liquid membrane and polyester mesh. Or RC 2200

Garland Unibond ST Tape with Garland CPR Seam Sealer will also be approved to be used. Other sealing products may be accepted upon review by the Regional District.



APPENDIX L - SUPPLEMENTAL PHOTOS

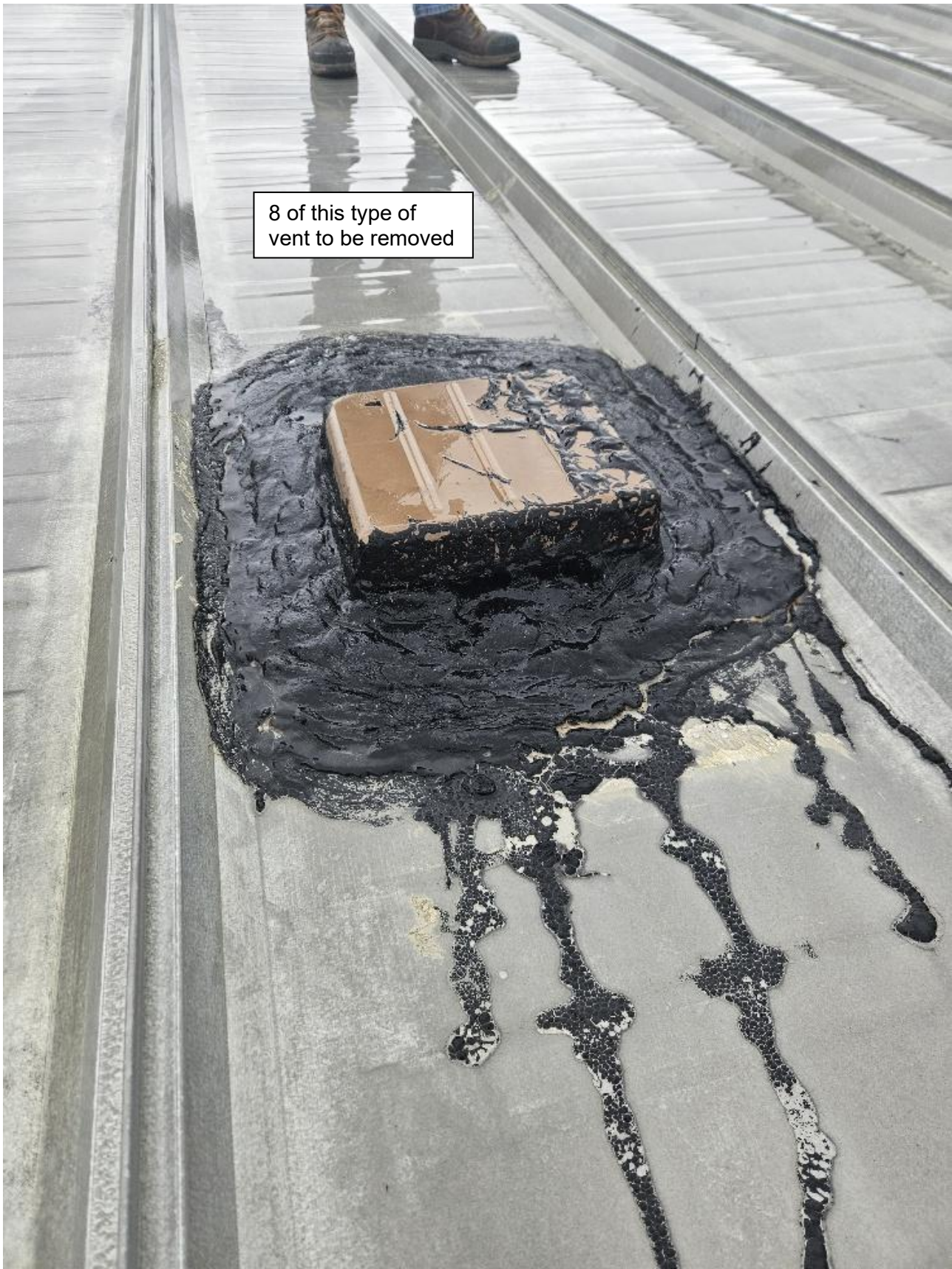




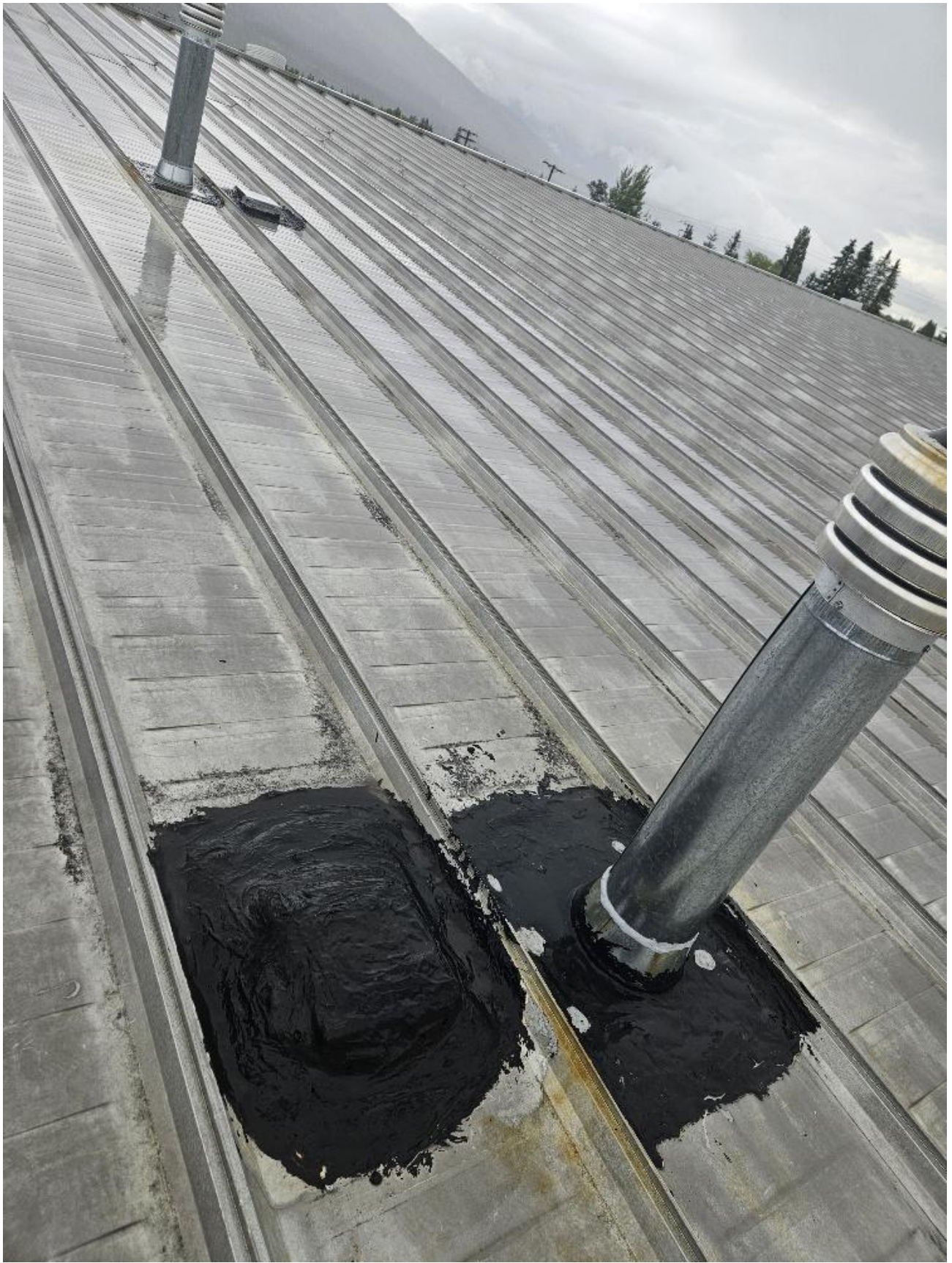












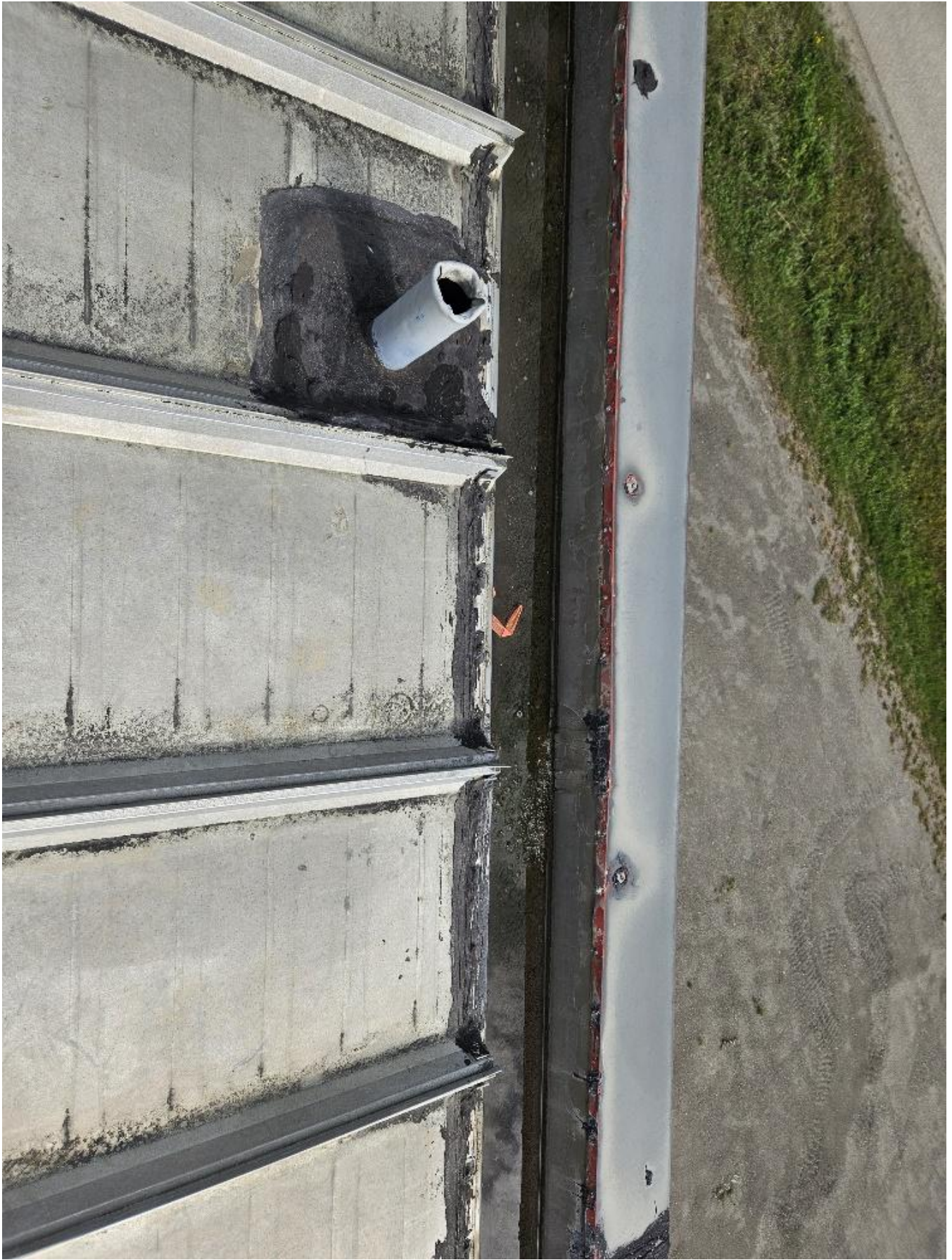


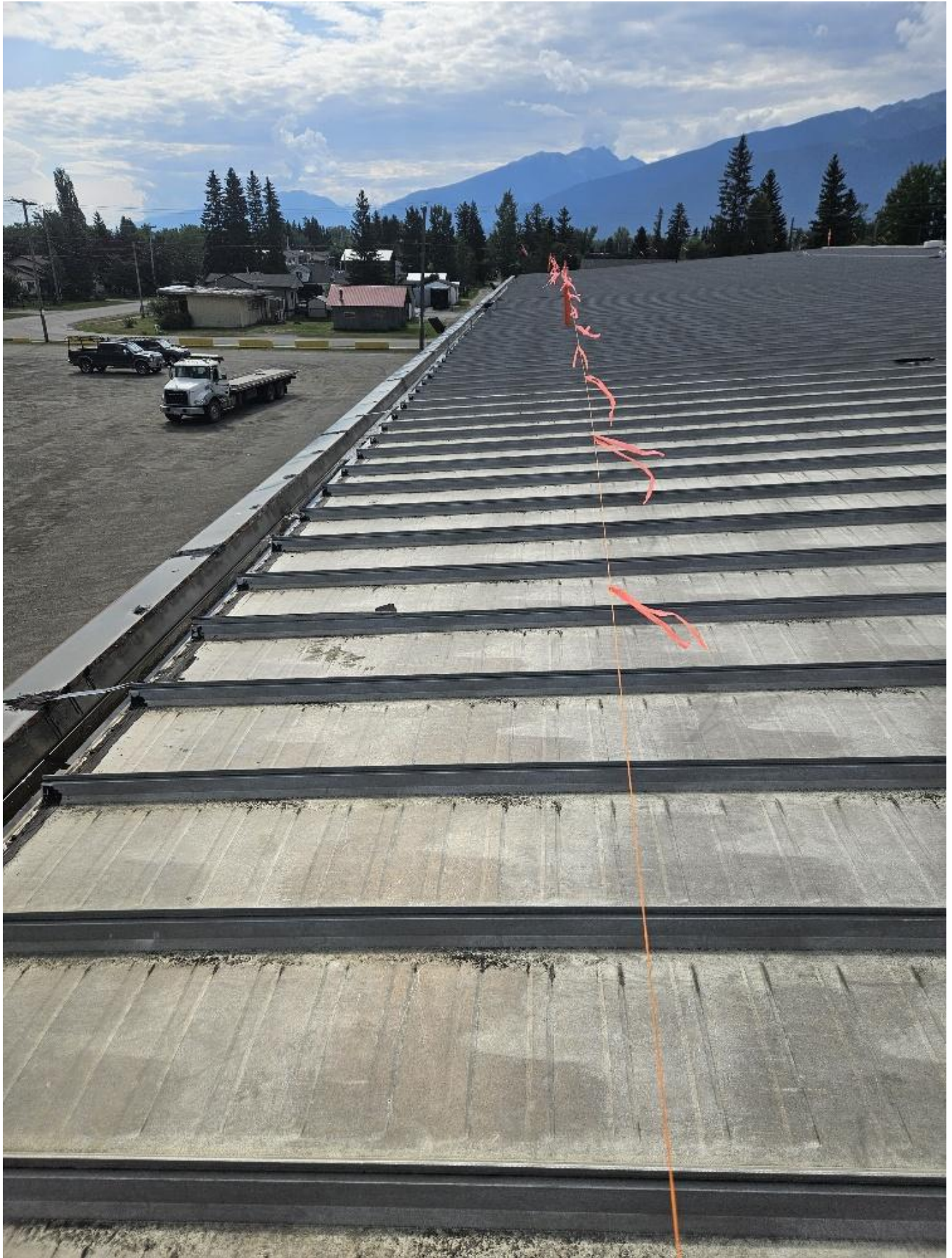








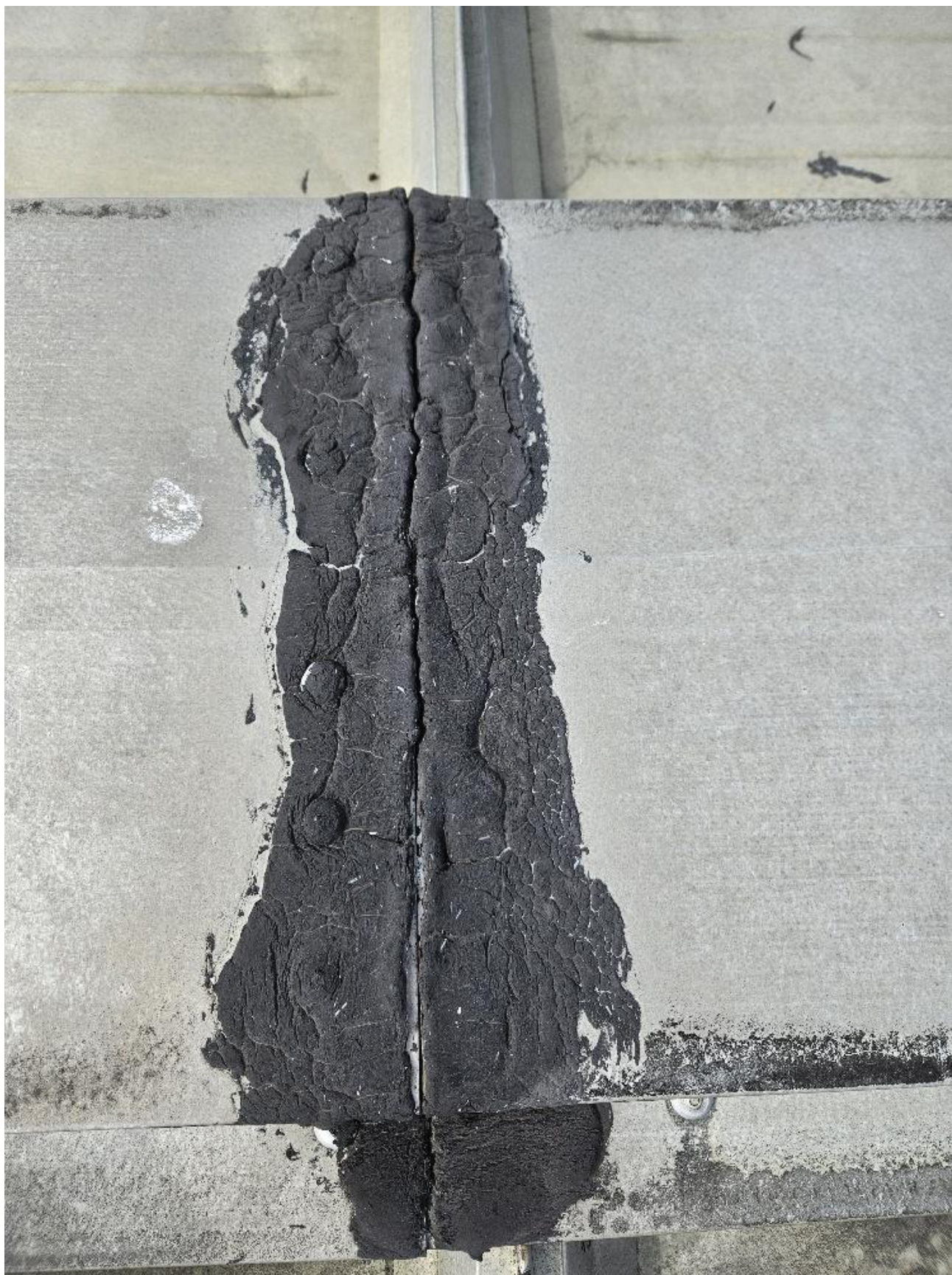
















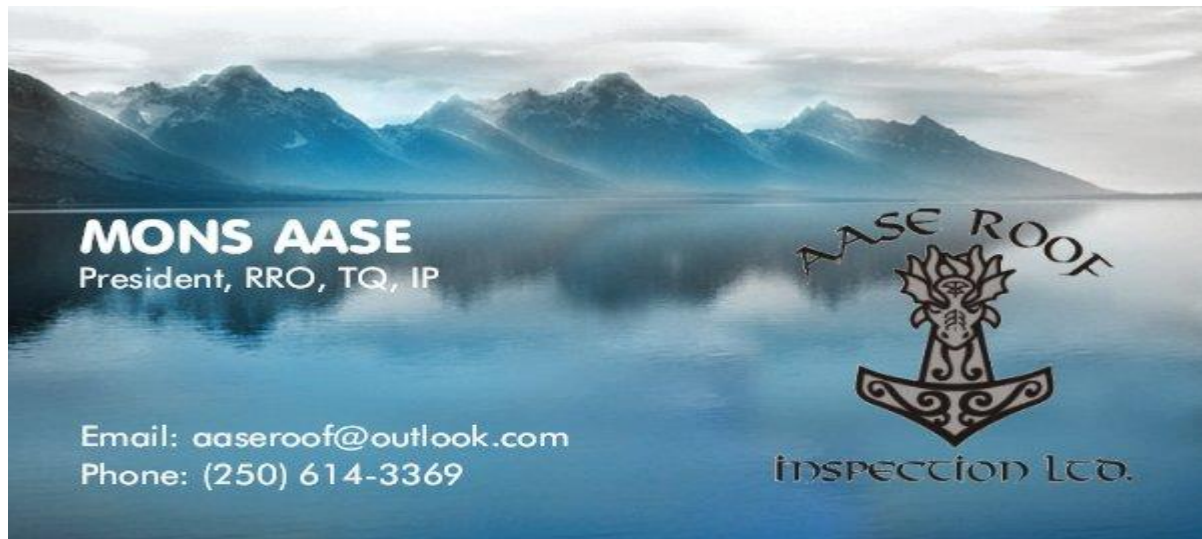


APPENDIX M – MONS AASE ROOF SURVEY REPORT



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9750 Alpine Drive
Prince George, BC V2N5W7



21/08/2024

**Robson Valley Recreation
Centre
461 Columbia Street
Roof Survey**



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9750 Alpine Drive
Prince George, BC V2N5W7

Fort Fraser Regional District

155 George St.

Prince George BC V2L 1P8

Phone: 250-960-4400

E-mail: wes.keim@rdffg.bc.ca

E-Mail: bharasimiuk@rdffg.bc.ca

September 5, 2024

Attention: Wes Keim/ Blaine Harasimiuks

Project: Robson Valley Recreation Centre 461 Columbia St. in McBride B.C.

Preamble:

A roof Survey was conducted on August 21st.2024 at the Robson Valley Recreation Centre 461 Columbia St. in McBride B.C. at the request of Meredith Burmaster. Roof existing conditions were inspected and documented with a written report of the current condition of the roofs per section. The Roof coverings are comprised of 1/12 sloped Pre-Eng standing seam metal panel with MBI Insulation. Tar and gravel flat roofs on canopies. 4/12 sloped metal panel on Mechanical room at the North end of the Main building.

The Recreation Centre consists of 4 main roof sections covering approx. 35,408 Ft/ 2 in area. Main Pre-Eng building and canopies were constructed in 1984. Mech Plant room was already existing, it was joined to North end of Pre-Eng building. One leaks has been reported on the South East corner of the Main Pre-Eng Roof #1. Another leak has been reported in the built in gutter approx 20 feet from the North East drain.(towards mech plant on Highway side)

The following is comprehensive listing by section and problems pertaining to each:

Robson Rec Pre Eng Roof Section #1

Roof Area. 34,080 Ft. Sq.

Surface Metal 24" panel 24 gauge standing seam with hidden fasteners. MR24

Insulation 2" MBI Metal Building Insulation With added AVB below **R-value approx R-7**

Flashing 24 gauge pre finished

BUILT IN 1984. Roof is 40 years old. Roof in satisfactory condition for its age. Low R value.

Two leaks reported. Repairs required in gutter area North East end and South east end in change room. There are Several AF-50 Vents that have been blocked off with fibre glas insulation. These projections has been sealed with roofing mastic. Mastic is cracked and these details should be re-sealed with Alsan Liquid membrane. See Photos. Cap flashing at ridge end joints should also be re-sealed as well. Leak in the gutter needs to be repaired. Metal joints are 8-10 feet . Leak is approx 20 feet from the drain. A lot of built up mastic and sealants used to seal the gutter over the years. This mastic may need to be scraped out to get to the leak.



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LDB Street view and stores.



Roof 1 minor ponding.



Roof 1 Satisfactory condition.



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Roof 1 Looking North. Along gutter area.



Roof #2 East end. Done in 2011.



Roof #2 overview looking west.



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Roof #2 south end, larger
ponding area vegetation
matter. Not serious.



Roof # 2 Service line to
unit that needs to be
resealed.



Roof # 1 End lap splice
flashing needs recaulking.
Scrape off mastic and apply
RC 2200.



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Roof #3 EPDM Ballasted roof
Caulking is cracked on service
lines. A lot of unit corners
and Field T-laps to check and
reseal



Overview of Gutter on the
west side. Note standing
water.



Roof #1 Drain on NE side
Mastic repairs in three areas.
Arrows point to end lap
seam. Caulking has peeled
off of the joint. Probably
leaking for sure.



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Overview Roof #1 change
room leak we suspect. SE end
of building.



Roof #1 close up of end lap
Caulking is gone water can
enter on these joints.

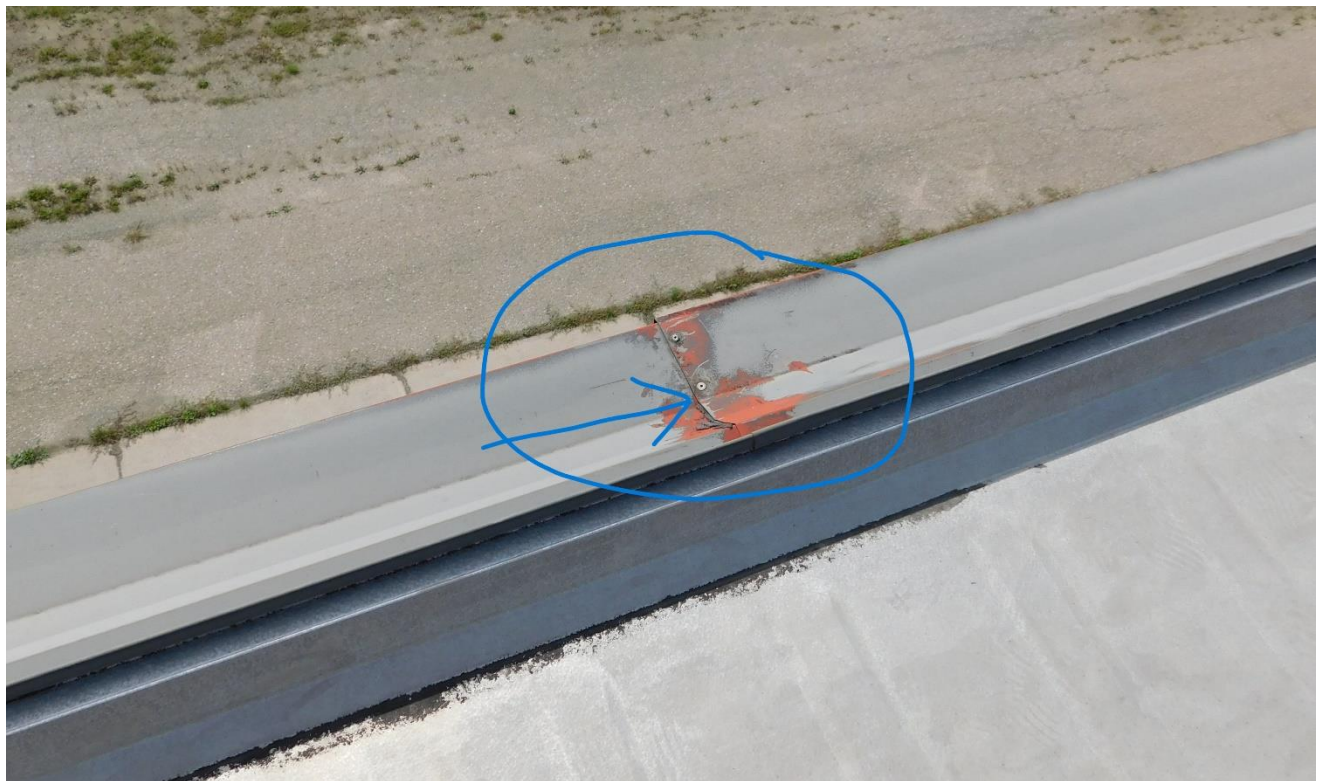


Roof #1 close up view of
drain selant.



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Roof 1 close up of end lap of gutter. Note exposed seam of metal.



Roof #2 Mech Plant room
Street view.



Section #2 4 overview A lot
of repairs to screws and side
laps on metal panel



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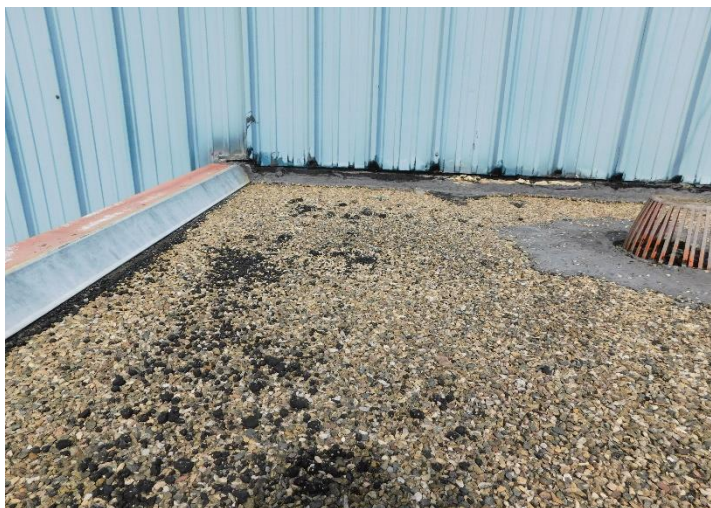
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Section #2 Perimeter Roof
overview. Metal panel bent
over the edge. Repaired
extensively



Roof #2 Roof soffit overview
vented under deck.



Roof #3 Tar and gravel
canopy roof shot, replace
ASAP. Slope to drain.



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Roof # 2 under deck view.
leaking.



Roof # 4. Overview. Leaking
replace ASAP Slope to drain.



Roof # 4 Overview Replace.



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Roof # 4 overview.



Roof # 4 overview.



Roof #4 under deck view.
Roof leaking.



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Robson Rec Section #2

Roof Area. 1,100 Ft. Sq.

Deck	2x6 Wood Strapping 16" O.C.
Insulation	Under deck Fibre glas
Surface	26 guage metal panel galvanized Sheet metal roofing screws
Flashing	26 gauge galvanized

Original Building, Roof very old and beat up. Roof has alot of repairs. Perimeter metal bent down on eave. **We would over lay with 5/8" plywood Prior to installing new underlayments and standing seam metal panels.**

Robson Rec Section #3

Roof Area. 49 Ft. Sq.

Deck	½ " Plywood
Vapour Barrier	None
Insulation	7/16" fibre board?
Membrane	4 Ply No. 15 Felt Asphalt and 3/8" pea gravel
Flashing	26 gauge pre finished

Roof very old shot and leaking . Replace ASAP New roof design slope to drain

Robson Rec Section #4

Roof Area. 179 Ft. Sq.

Deck	½ " Plywood
Vapour Barrier	None
Insulation	7/16" fibre board?
Membrane	4 Ply No. 15 Felt Asphalt and 3/8" pea gravel
Flashing	26 gauge pre finished

Roof very old shot and leaking . Replace ASAP New roof design slope to drain



Recommendations:

On the main Pre-Eng Roof #1 we suggest that;

1. Metal joints and drains in the gutters be resealed. (IKO MS Detail and mesh)
2. Projections , vents and p-vent flashings as well. Alsan Liquid Membrane and mesh
3. Gable end flashings need to be resealed on the end laps as well.
4. Ridge flashing also needs to be resealed.

These repairs can be done now. These repairs hopefully will prevent further roof leaks and extend the life of the roof. Roof should last for many years with annual maintenance.

Canopy roofs need to be re-roofed ASAP. Roofs should be sloped to drain with larger drain pipe installed to assist in not freezing up. Mech Plant roof should be re-placed in the following year. Roofs have been maintained by staff over the years for sure.

Roofs should be looked at, and drains cleared of debris at least once a year.

An annual check up will hopefully identify any potential problems prior to leaking.

A repair list has been included for all roofs as a guide for the contractor.

Conclusion :

Repairs are required as noted in repair list. Some budget figures have been calculated for repairs. approximately \$9000.00 - \$15,000.00

New roofing For Pre-eng Section #1 at this time is not feasible due to the constraints of the original design and current snow loads. **Budgeting costs for would be approximately \$2500.00 - \$3500.00 per Square for flat roofing (canopies) or metal replacement for Plant room only. (Not for the Main Pre-Eng roof)**

Executive Summary:

Repairs should be done ASAP. The proposed re-roofing schedule is listed below with an attached repair list for the roofing contractor.



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Roof Replacements ASAP:

Robson Rec # 3 .49 Sqs. X \$3500.00 = \$3,000.00 +GST min cost

Robson Rec # 4 1.79 Sqs. X \$3500.00 = \$6,265.00 +GST

Roof Replacements Next Spring:

Robson Rec #2 11.00 Sqs. X \$3500.00 = \$38,500.00.00 +GST

Total All \$47,765.00 +GST

Note : Flat areas are small so they cost a bit more +-20%

Repairs **\$9000.00 - \$15,000.00**

If you require further information, please feel free to call us.

Submitted By,

Mons Aase RRO IP TQ
AASE Roof Inspection Ltd.



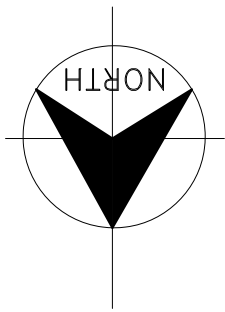
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Repair List for Roofing Company :

On the main Pre-Eng Roof #1 we suggest that;

1. Metal end joints and drains in the gutters be resealed prior to winter.
IKO MS Detail Liquid membrane and polyester mesh
2. Projections , vents and p-vent flashings as well. Soprema Alsan Liquid membrane and polyester mesh. Or RC 2200
3. Gable end flashings need to be resealed on the end laps as well
Soprema Alsan Liquid membrane and polyester mesh. Or RC 2200
4. Ridge flashing also needs to be resealed.
Soprema Alsan Liquid membrane and polyester mesh. Or RC 2200

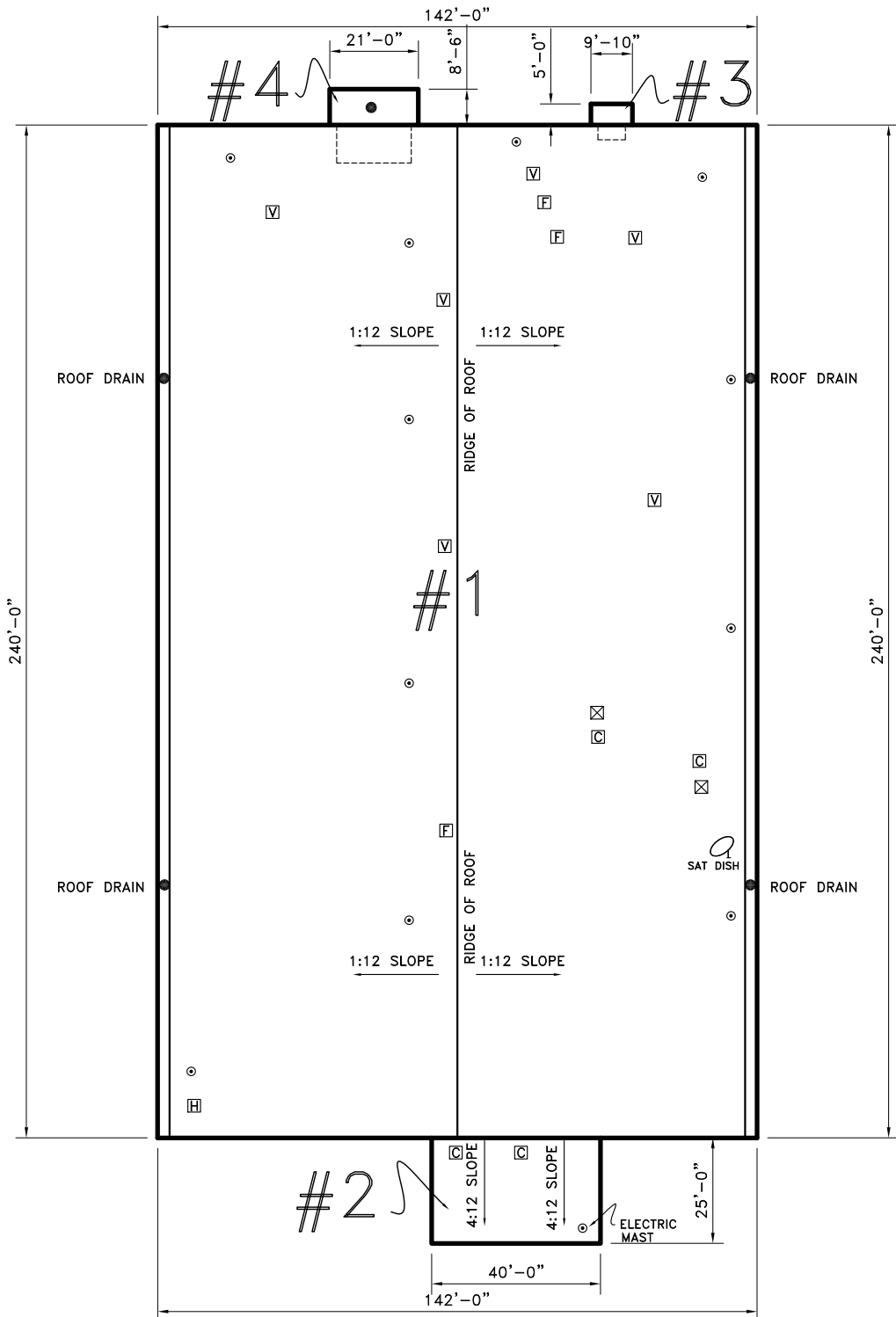


NOTE:

THE MEASUREMENTS ARE TO BE
VERIFIED BY THE CONTRACTOR

AREA:

#1	34,080	sqft
#2	1,100	sqft
#3	49	sqft
#4	179	sqft
TOTAL	35,408	sqft



AASE ROOF INSPECTION LTD. ROOF CONSULTING & INSPECTION ROOF SURVEYS BUDGET COST CALCULATIONS ROOF SPECIFICATIONS CE. 250 614 3369 PH. 250 963 6711		L E G E N D			
		☐ MASONRY CHIMNEY ☐ METAL CHIMNEY ☐ CURB CHIMNEY ☐ WIRE HOUSE ☐ T. V. ANTENNA	☐ CONTROL JOINT ☐ PARAPET WALL ☐ SLEEPER ☐ ROOF SLOPE ☐ LADDER	☐ PLUMBING VENT CURB ☐ PLUMBING VENT ☐ ROOF DRAIN ☐ ROOF JACK ☐ ROOF HATCH ☐ PITCH PAN	☐ SKY-LIGHT ☐ VENTILATOR ☐ FAN ☐ ROOF UNIT ☐ SCUPPER ☐ CURB OPEN
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1 RVM	ROBSON VALLEY REC. CENTRE McBRIDE, B.C. ROOF PLAN 461 COLUMBIA ST. McBRIDE, B.C.		DATE: 22/08/24		SCHL. NO. RVM DRWING.NO. ROBSON VALLEY REC. CENTRE/McBRIDE, B.C.
			SCALE: 1"=40'-0"		
			DRWN: T.Ezaki		
			CHECK: M. AASE		



REGIONAL DISTRICT of Fraser-Fort George

APPENDIX N – PRIME CONTRACTOR AGREEMENT

WHEREAS:

- A. **Company Name** (“Contractor”) intends to perform certain work on the following lands or premises of which the Regional District of Fraser-Fort George (the “Regional District”) is the owner for the purposes of the *Workers Compensation Act* R.S.B.C. 2019, c.1 (the “Act”) and which are or may be a multiple-employer workplace for the purposes of the Act:

[insert description of road or park or legal description of property/ies]

(the “Regional District Lands”);

- B. Pursuant to section 24 of the Act, the owner of a multiple-employer workplace may enter into a written agreement with a directing contractor, employer or other person to be the prime contractor for that workplace; and
- C. The Contractor has agreed to be the prime contractor relating to that portion of the Regional District Lands and premises on which the work will be performed.

NOW THEREFORE THIS AGREEMENT WITNESS that, in consideration of the sum of One Dollar (\$1.00) now paid to the Regional District to the Contractor (the receipt and sufficiency whereof is hereby acknowledged),

1. The Contractor hereby agrees, pursuant to Section 24 of the Act, to be the prime contractor for the Works on the Regional District Lands, and to carry out the obligations set out in Section 24 of the Act and all applicable regulations.
2. The Contractor hereby acknowledges that it is familiar with the provisions of Section 24 of the Act and all applicable regulations and understands the obligations it is assuming.
3. Any violation of the Act and applicable regulations by the prime contractor may be considered a breach of contract resulting in possible termination or suspension of the agreement and/or any other actions deemed appropriate at the discretion of the Regional District.
4. Any penalties, sanctions or additional costs levied against the Regional District, as a result of the actions of the prime contractor are the responsibility of the prime contractor.
5. The Regional District hereby revokes any past appointments of a prime contractor on the Regional District Lands.

Executed this day of , 2026

Regional District, by its authorized signatory,

Contractor Name: by its authorized signatory,

155 George Street, Prince George, BC V2L 1P8

ELECTORAL AREAS A, C, D, E, F, G AND H | MACKENZIE | MCBRIDE | PRINCE GEORGE | VALEMOUNT